

Staff Summary Report



Development Review Commission Date: 06/08/10

Agenda Item Number: ____

SUBJECT: Hold a public meeting for a Development Plan Review for THE APARTMENTS AT LAKES TOWNE CENTER located at 577 East Baseline Road.

DOCUMENT NAME: DRCr_AptLakesTowneCenter_landscape_060810

COMMENTS: Request for **THE APARTMENTS AT LAKES TOWNE CENTER (PL100035)** (Rural Baseline Two, LLC, property owner; Charles Huellmantel, Huellmantel & Affiliates, applicant) consisting of a new 224 unit residential apartment complex within 132,000 sf. total building area on 10.07 acres, located at 577 East Baseline Road in the PCC-2, Planned Commercial Center General District. The request includes the following:

DPR10046 – Development Plan Review for landscape plan.

PREPARED BY: Ryan Levesque, Senior Planner (480-858-2393)

REVIEWED BY: Lisa Collins, Development Services Planning Director (480-350-8989)

A handwritten signature in black ink, appearing to be 'L Collins', located to the right of the 'REVIEWED BY' line.

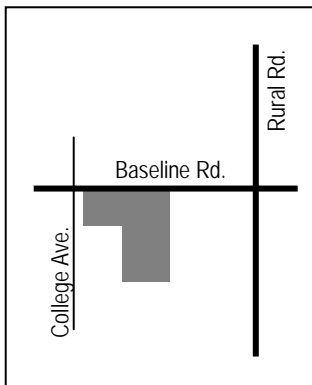
LEGAL REVIEW BY: N/A

DEPARTMENT REVIEW BY: N/A

FISCAL NOTE: N/A

RECOMMENDATION: Staff – Approval, subject to conditions

ADDITIONAL INFO: On May 25, 2010, the Development Review Commission continued the landscape plan to the June 8th meeting for further review.



PAGES:

1. List of Attachments
2. Comments / Conditions of Approval
3. History & Facts
4. Zoning & Development Code Reference

ATTACHMENTS:

1. Location Map
2. Aerial Photo
- 3-4. Site plans
5. Preliminary Grading & Drainage Plan
- 6-9. Landscape Plan
10. Line of Sight Diagram
- 11-12. Public input

COMMENTS:

This site is located at the southeast corner of Baseline Road and College Avenue. The property is an "L-shape" configuration abutting the new Lowe's and other retail shops to the east. Adjacent to the south of the property are single-family homes with a public alley, and a few abutting townhomes along the southeast corner.

The previous use on the site was an Earnhardt Ford auto dealership from 1974 until 2008 when the site was vacated, demolished and graded, with only the mature trees buffering the southern most property lines remaining.

On May 25, 2010, the Development Review Commission approved two Use Permits and a Development Plan Review for the site development and building elevations and continued the landscape plan to the June 8, 2010 meeting. The General Plan and Planned Area Development were both forwarded to the City Council with recommendations for approval.

The landscape plan was continued to allow the applicant time to address issues raised by neighbors at the May 25th meeting.

Since the hearing, the applicant has spoken to the neighbors and has scheduled meetings to discuss options that include green screens and other landscape materials that would provide visual screening. A plan will be presented at the June 8th Development Review Commission meeting.

DEVELOPMENT PLAN REVIEW

The landscape plan for the project provides a viable low-water desert plant list, while attempting to retain the majority of existing trees along the southern perimeters. The existing trees consist of Mondell Pine trees and Red Gum Eucalyptus. Tree species that will provide and maintain a tall tree growth creating some visual screening from the existing residents.

Conclusion

Based on the information provided and the above analysis, staff recommends approval, subject to conditions for the requested Development Plan Review. This request meets the required criteria identified in this report.

CONDITIONS OF APPROVAL:

EACH NUMBERED ITEM IS A CONDITION OF APPROVAL. THE DECISION-MAKING BODY MAY MODIFY, DELETE OR ADD TO THESE CONDITIONS.

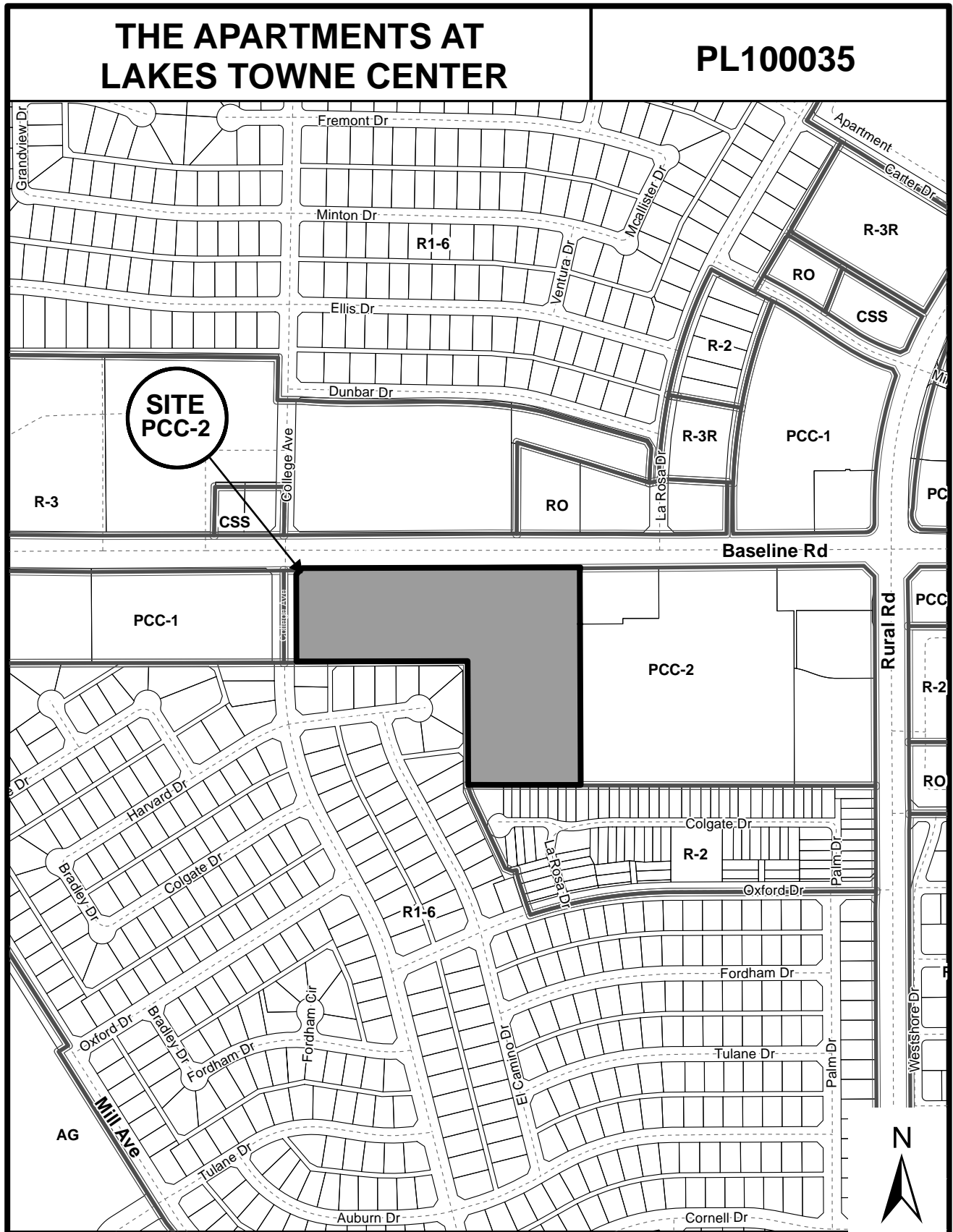
1. The landscape conditions for this request shall supplement the approvals and its conditions granted on May 25, 2010, by the Development Review Commission.
2. Reasonable efforts shall be made to irrigate existing perimeter trees from the date of this approval until completion of the project.
3. Where landscape buffering from the perimeter walls adjacent to the alley is at least 15'-0" in depth, an additional row of trees shall be planted staggered intermittently from the proposed row of trees.
4. All new perimeter trees shall be identified on the plans using a minimum thirty-six (36) inch box size.
5. Any future dead or missing eucalyptus trees shall be replaced using Mondell Pine species with a minimum thirty-six (36) inch box size.
6. Along to the perimeter walls adjacent to the alley, a minimum sixteen (16) foot tall "green screen" shall be provided, intended for the use of climbing vines for additional screening. The length of the green screen measured from the base shall be a maximum of three (3) feet from grade, with alternating heights.

HISTORY & FACTS:

July 24, 1969	City Council approved a zoning change for this site from R1-6 to PCC-2.
August 22, 1974	City Council approved a General and Final Plan of Development for Earnhardt Ford.
November 6, 1974	Design Review Board approved the site, building and landscape plans for Earnhardt Ford.
February 14, 1980	City Council approved a zoning change from R-2 to PCC-2, an Amended General Plan of Development, a Use Permit and a variance for a four-acre parcel at the southeast corner of Baseline Road and College Avenue, subject to conditions.
January 22, 2008	Development Review Commission approved a request for LAKES TOWNE CENTER PHASE I (PL070361) consisting of the first phase of a series of single-story retail buildings; a multi-tenant 10,200 s.f. Shops A and a 119,328 s.f. Lowe's building and 27,265 s.f. Garden Center are 156,793 s.f. of the total approximately 189,375 s.f. on 16 net acres, in the PCC-2 Planned Commercial Center Two, Zoning District. The request included: a Use Permit Standard to increase the building height by 20% to 48 feet on the Lowe's building in Phase I and DPR07237, a Development Plan Review including site plan, building elevations, and landscape plan for Phase I.
March 25, 2008	Development Review Commission approved a request for Development Plan Review for LAKES TOWNE CENTER PHASE II (PL080043) consisting of the second phase of a series of single-story retail buildings consisting of Shops B 12,842 s.f. totaling approximately 189,375 s.f. on 16 net acres, located at 777 E. Baseline Road in the PCC-2, Planned Commercial Center General District.
December 12, 2008	Earnhardt's buildings located on this site were demolished.
January 13, 2009	Development Review Commission approved a Use Permit and Development Plan Review for CIRCLE K STORE (PL080389) consisting of a 4,400 square foot convenience store with fuel sales, on 1.61 net acres, located at 5240 South Rural Road in the PCC-2, Planned Commercial Center General District.
May 10, 2010	Neighborhood Meeting conducted by the applicant for this request. Meeting located at 750 West Baseline Road at the San Palmilla Apartments at 6 p.m.
May 25, 2010	Development Review Commission approved Use Permits to allow Residential and Tandem Parking, a Development Plan Review (except the Landscape plan), and recommended approval of the General Plan Amendment and Planned Area Development Overlay for this request. The Commission stipulated that the project come back to the Commission to review modifications of the landscape perimeter to address screening.
June 8, 2010	Scheduled Development Review Commission meeting to review the landscape plan for this request.
June 10, 2010	Introduction and first public hearing with City Council for the General Plan amendment and Planned Area Development Overlay.
June 24, 2010	Second public hearing with City Council for this request.

ZONING AND DEVELOPMENT CODE REFERENCE:

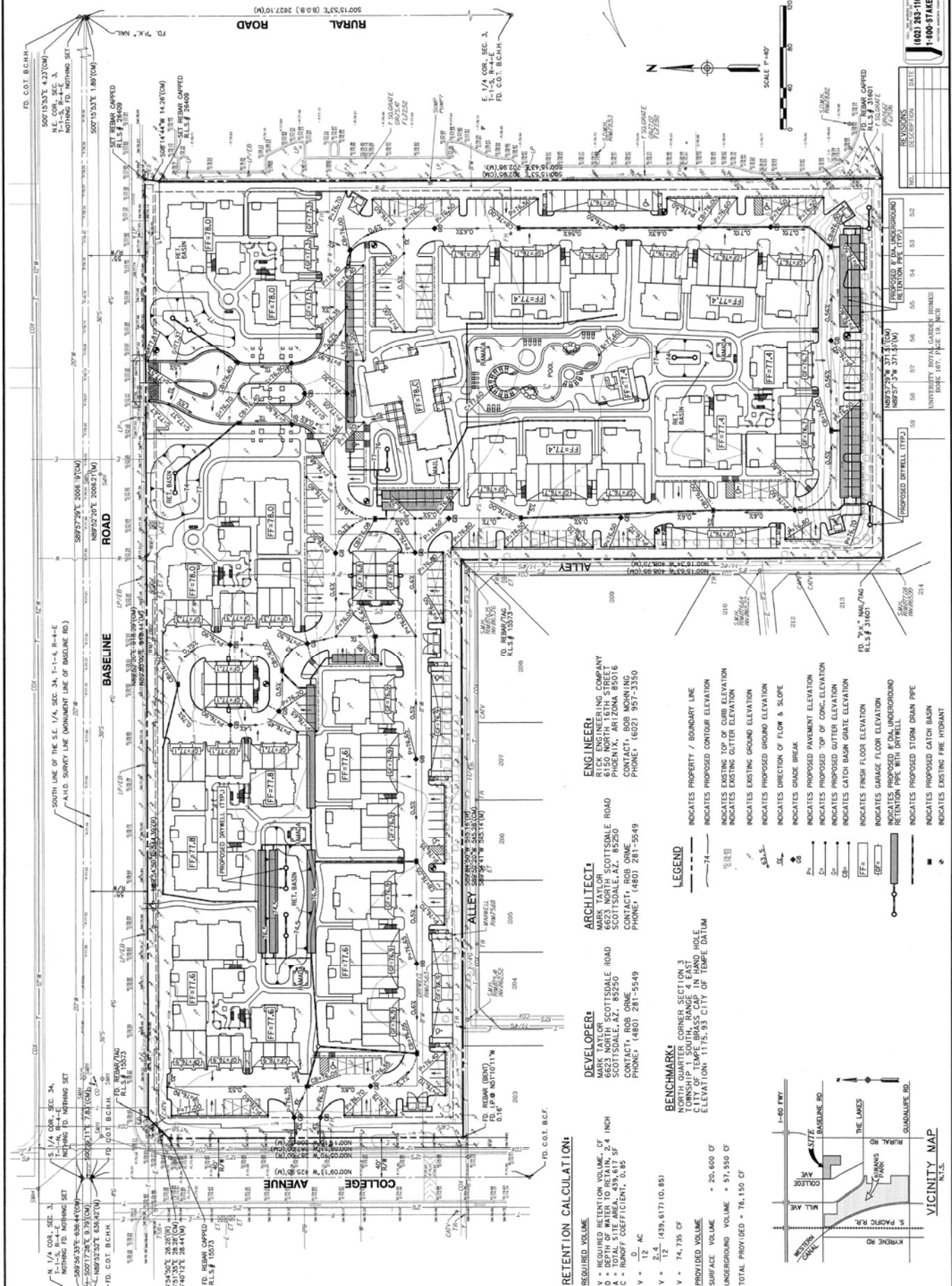
Section 6-306, Development Plan Review



Location Map



THE APARTMENTS AT LAKES TOWNE CENTER (PL100035)



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Mark - Taylor Development
Baseline Rd & College Ave
577 E. Baseline Road
Tempe, Arizona



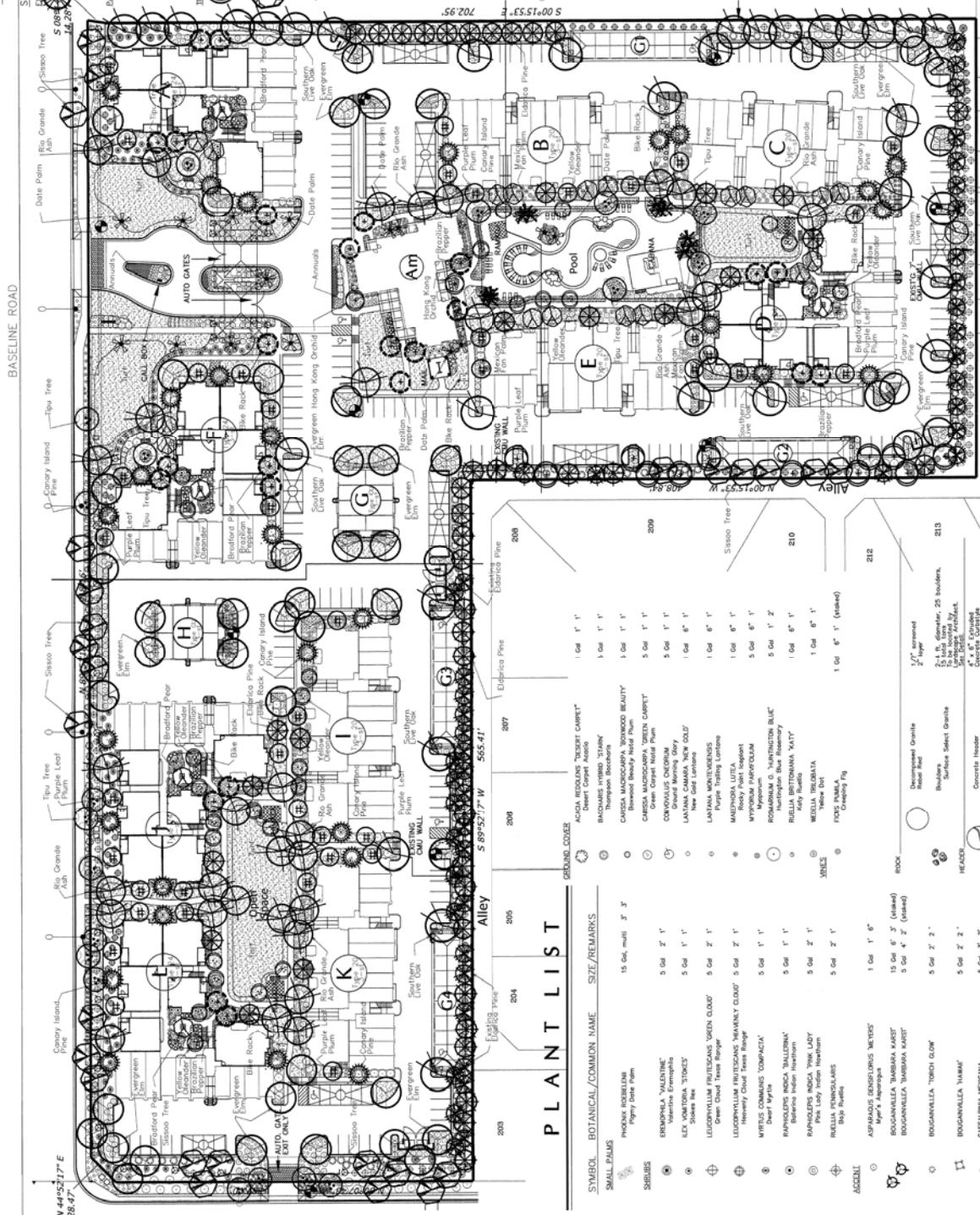
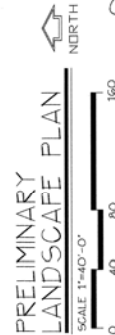
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Date	24/Feb/2010
Scale	A1 Shown
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Checked	DRG

PLANT LIST

BOTANICAL / COMMON NAME	SIZE /REMARKS
PRINUS ELAEAGNIA Olive Tree	Existing to remain
EUCALYPTUS CAMALINDENSIS Red Gum Eucalyptus	Existing to remain
MAGNOLINDA ROBERTA Banksia Tree Palm	10' trunk height 10' from height 12' trunk height
PHENIX DATE PALM Date Palm	10' - 15' trunk height demand cut
CHAMADROPS HUMILE	30" Box 5' (small)






















[illegible]

NOTE: MAXIMUM HEIGHT OF MATURE SHRUBS AND GROUNDCOVERS IN:
PARKING ISLANDS FOR THE FIRST 6' ADJACENT TO A PARKING SPACE
BOARDS FOR THE FIRST 6'; WALKS FOR THE FIRST 6' WILL BE 2" MAX
PARKING ISLANDS AFTER THE FIRST 6' ADJACENT TO A PARKING SPACE; BOARDS
FROM THE NEXT 6' TO 12'; WALKS FROM THE NEXT 6' TO 12' WILL BE 3" MAX
FROM 12' AND BEYOND 3" PLUS



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PLANT LIST

SYMBOL	BOTANICAL / COMMON NAME	SIZE	REMARKS
SMALL PALMS			
	PHOENIX ROSEBUD Pigeon Date Palm	15 Gal, multi	3'
SHRUBS			
	BROMELIA "VALENTE"	5 Gal	2' 1"
	ILEX MONTEBELLAE Holly	5 Gal	2' 1"
	ILEX MONTEBELLAE Shrub, Inc.	5 Gal	2' 1"
	LEUCOPHYLLUM POTTICUS Green Cloud Tree Range	5 Gal	2' 1"
	LEUCOPHYLLUM POTTICUS "MANNY CLOUD"	5 Gal	2' 1"
	MYRTUS COMARNS Heavily Cloud Tree Range	5 Gal	1' 1"
	MYRTUS COMARNS "COMARNS" Dwarf Myrtle	5 Gal	1' 1"
	RAYFOLDS INDICA "VALLENA"	5 Gal	1' 1"
	RAYFOLDS INDICA "PINK LADY"	5 Gal	2' 1"
	RAYFOLDS INDICA "PINK LADY"	5 Gal	2' 1"
	RUDELLA PINNULARES Pink Lady Indian Hawthorn	5 Gal	2' 1"
	RUDELLA PINNULARES Shrub Hawthorn	5 Gal	2' 1"
ACCENT			
	ASPIRACUS BODINOLUS "MYRTES"	1 Gal	1' 6"
	BOUGAINVILLEA "MARIANA KASST"	15 Gal	5' 3" (cutback)
	BOUGAINVILLEA "MARIANA KASST"	5 Gal	4' 2" (cutback)
	BOUGAINVILLEA "TIGER GLOW"	5 Gal	2' 1"
	BOUGAINVILLEA "MARIANA"	5 Gal	2' 1"
	CUSCUTLEPNA MEXICANA Mexican Bird of Paradise	5 Gal	3'
	HYMENOCYLLUS Angelito Daisy	1 Gal	6" 1"
	MEHRENTHOUS CAPILLARS "REDG MIST"	5 Gal	1' 1"
	Major Mist Grass		

[illegible]

Baseline Rd & College Ave
Mark - Taylor Development
577 E. Baseline Road
Tempe, Arizona




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24-Feb-2010	L11
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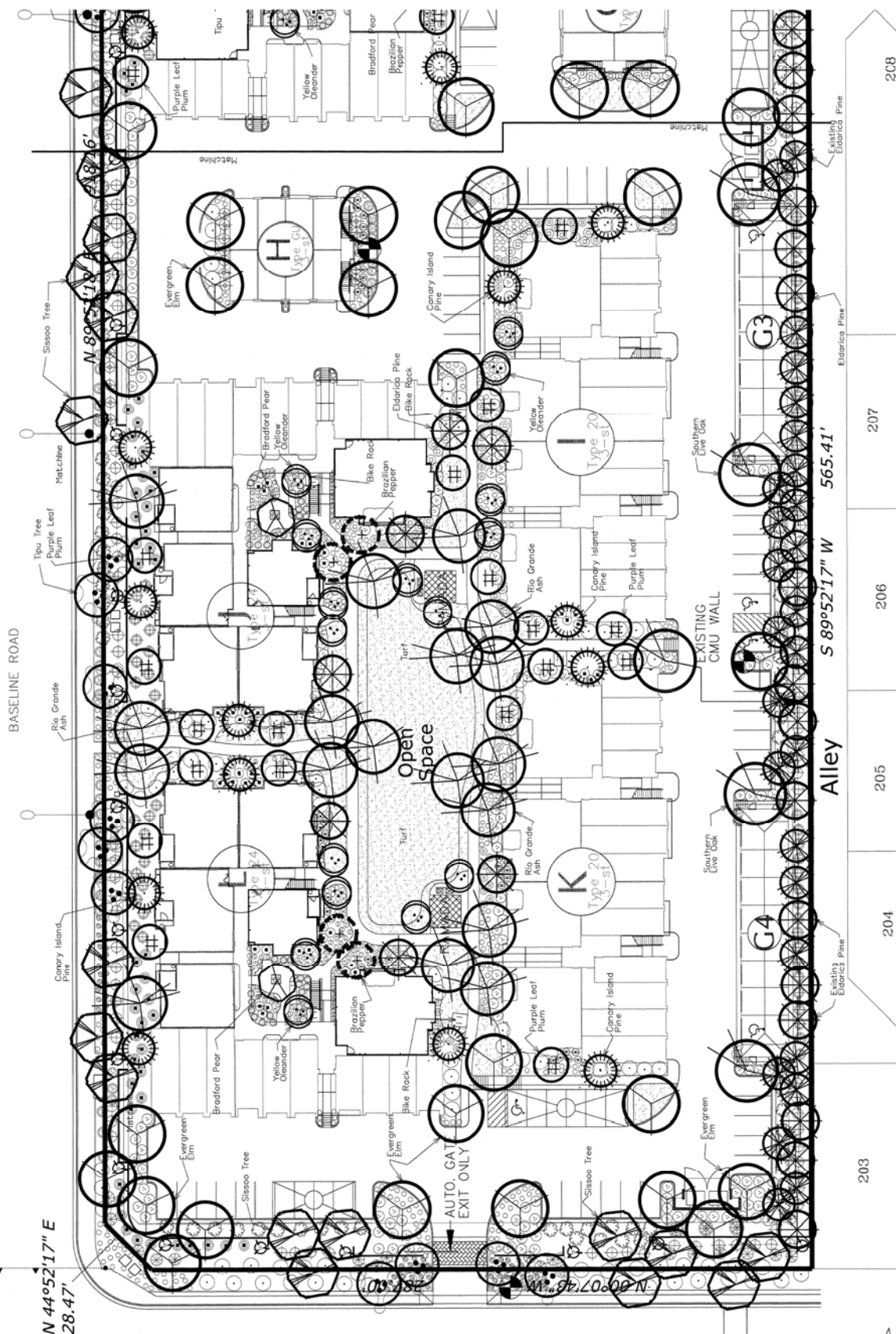


PRELIMINARY
LANDSCAPE PLAN

SCALE: 1"=30'-0"

 NORTH

Note:
See Sheet L1.0 (Over All Landscape Plan)

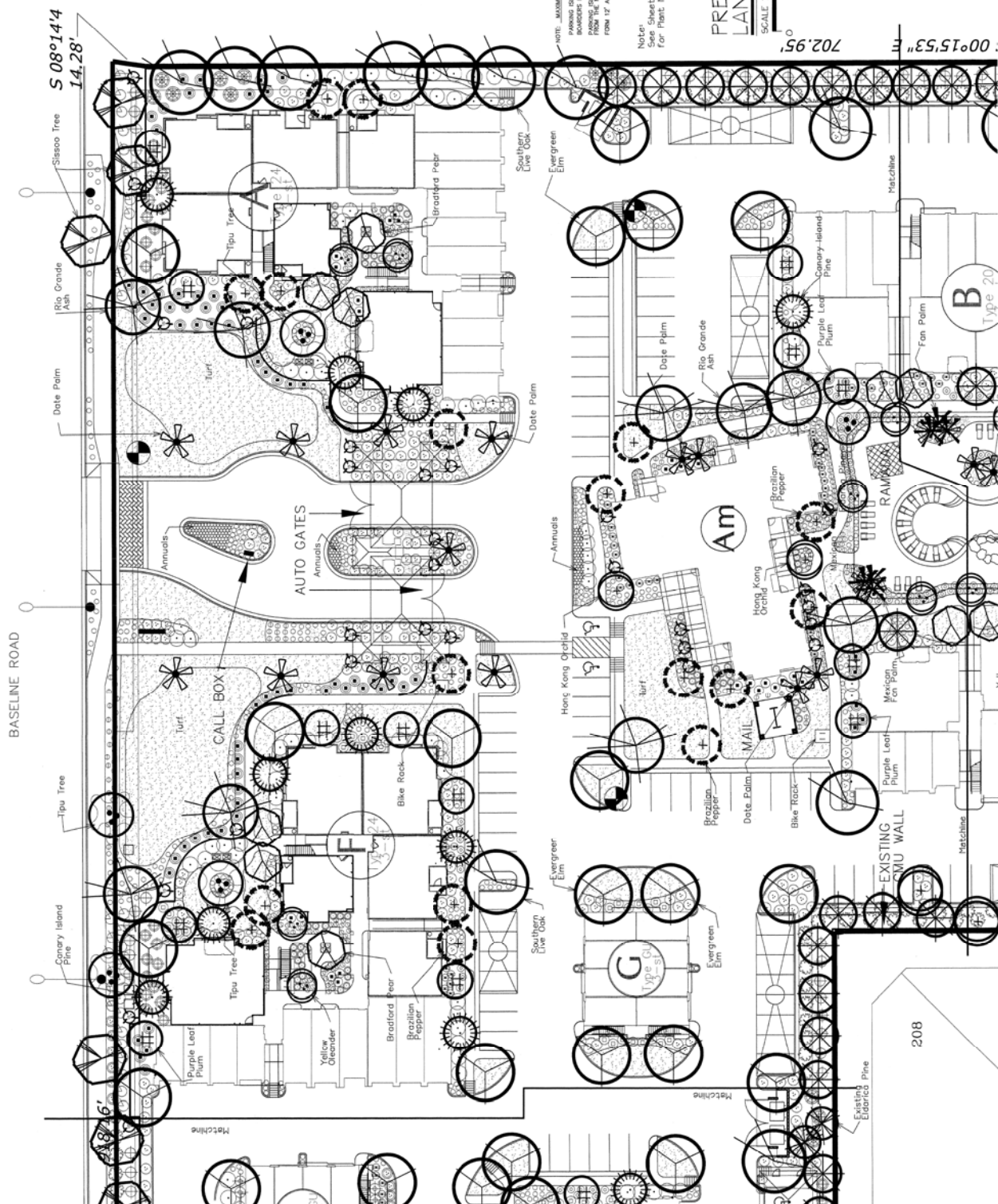
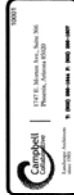


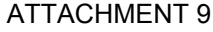
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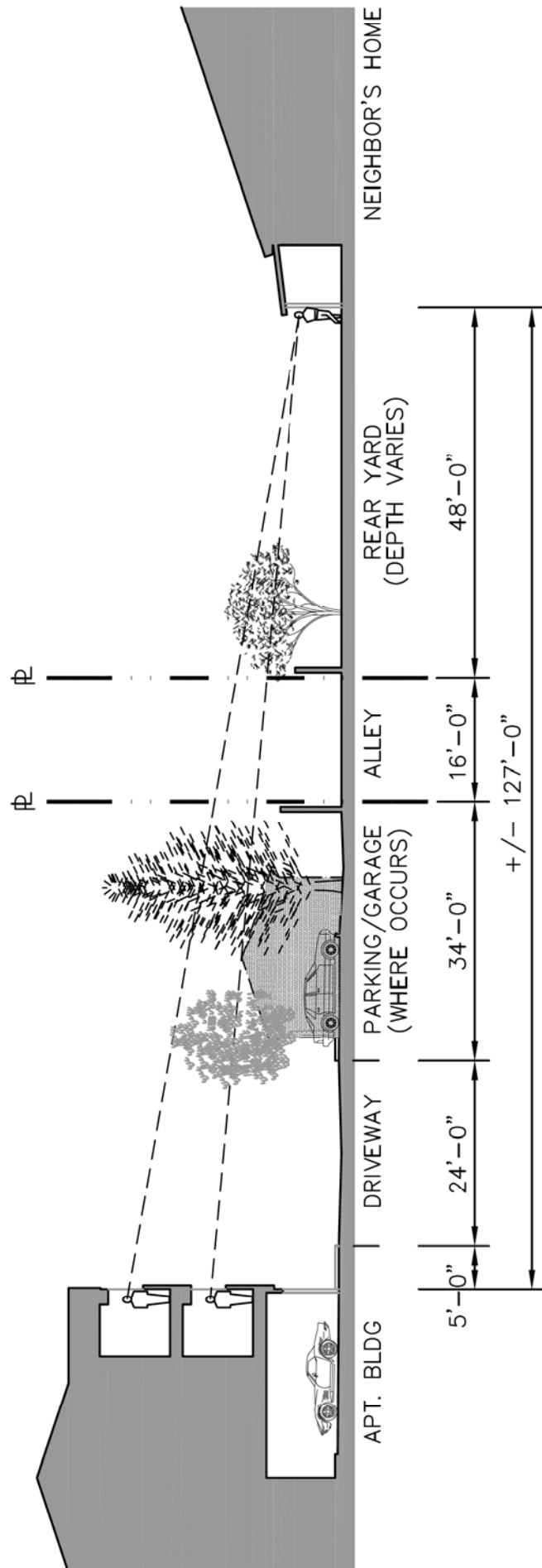
Mark - Taylor Development
Baseline Rd & College Ave
577 E. Baseline Road
Tempe, Arizona



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Date	24-Feb-2010
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Levesque, Ryan

From:
Sent: Tuesday, May 25, 2010 3:05 PM
To: Levesque, Ryan
Subject: Apartments at Lakes Towne Center

>
> Hi Ryan, I am the owner of the property at 320 E. Harvard Ave which is directly south of the proposed apartment complex.
> Thank you for your work on this. I have tried to look at the plans online but they are small and some of it is hard to read. Is there a set of plans available for us to view and possibly renderings that we can view.
> My understanding is that the property is proposed as a 3 story property. This is a major concern of mine and other neighbors that this will tower over our properties and potentially have a negative impact on our property values. When looking at our neighborhood there are not even any 2 story homes let alone massive 3 story apartments with full view into our homes and living areas. To put a second story addition onto a home takes a full blown variance and when these have been approved in a minor 2 or 3 cases they have come with restrictions.
> My understanding is that the property being developed is zoned as a commercial property to a 40 foot maximum height but these are much different parameters than a 40 foot apartment complex with 24 hour occupancy and viewing. Please understand that for the past almost 40 years the property was a secured car lot with low construction buildings and business hour occupancy.
> These are the terms that I purchase my property with and never a thought of a 40 foot apartment complex. When there was a commercial occupant on that particular property there was appropriate action taken to accommodate the property owners to the south and west of the subject property. These actions were both a higher wall with security fencing on the top and a significant and continuing row of full grown pine trees along the property line to offer separation even with the lower construction buildings.
> Can you please tell me that the continuous line of full grown pine trees will be a part of the landscape at a minimum.
> The other item I would request at a minimum is that the farthest south apartment buildings have a maximum height of two story with the 3 story buildings being in the middle and to the street side of the property. Looking at the sight lines that were included in the proposal I would like to comment that these are totally unacceptable to me.
> I would like to ask that you take the property values of all properties adjacent to this project into deep consideration. I would also like to ask that you take the lifestyle and privacy of the occupants of the properties into consideration being that we are talking about approximately 40 years of no one viewing in our homes and living areas to having one day possibly a number of windows hovering over us 24 hours a day 7 days a week.
> Ryan, I would like to conclude this note commenting that I am a great advocate of progress and building and the betterment of Tempe. Also I am confident that a multifamily facility can be one of the better options for the subject property and I support the project in the event that it does not take anything away from the adjacent property owners. Please take us into consideration and do the right thing for all parties involved.
>
> Cordially,
> Jim Olson

Levesque, Ryan

Subject: FW: Apartments at Lakes Towne Center

-----Original Message-----

From:

Sent: Tuesday, May 25, 2010 1:45 PM

To: Levesque, Ryan

Subject: Re: Apartments at Lakes Towne Center

My name is Jeff Hahn. My wife and I are the owners of the single family home located at 314 E. Harvard Dr. located directly South of the planned developement. Since we purchased the home in May of 2001 we have enjoyed the privacy that this lot provides us over the years. We looked at several homes in the area and until we found this home. One of the main reasons why we purchased this it was because of the charming private back yard. Many homes do have neighbors beyond the back yard. Ours did not.

I can not tell you how displeased we are to hear that there is a 3 story appartment building going up in the old Earnhardt Lot. Are there no windows on the 2nd and 3rd stories facing south? Ryan, I am all about positve growth in this great city of Tempe in which we reside in but please, do not be part of taking our privacy away from us.

Thank you very much for your time.

Sincerely,

Jeff Hahn